

PROJECT INFORMATION

PROJECT ADDRESS: 1059 N 12TH AVENUE
BOZEMAN, MT

LEGAL DESCRIPTION: LOT 13, BLOCK 1
OAK MEADOWS SUBDIVISION

BUILDING AREA: MAIN (HEATED): 1,723 SF GROSS (INC. EXT. WALLS)
GARAGE: 529 SF NET

GENERAL NOTES

- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES LISTED.
- ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS UNLESS NOTED OTHERWISE.
- ALL ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED BY LICENSED PROFESSIONAL(S) AND SHALL CONFORM WITH CURRENT CODES.
- CONFIRM AND COORDINATE LOCATIONS OF ALL UTILITIES WITH CONTRACTOR.
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ADOPTED CODES:
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 2012 INTERNATIONAL FUEL GAS CODE (IFGC) 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

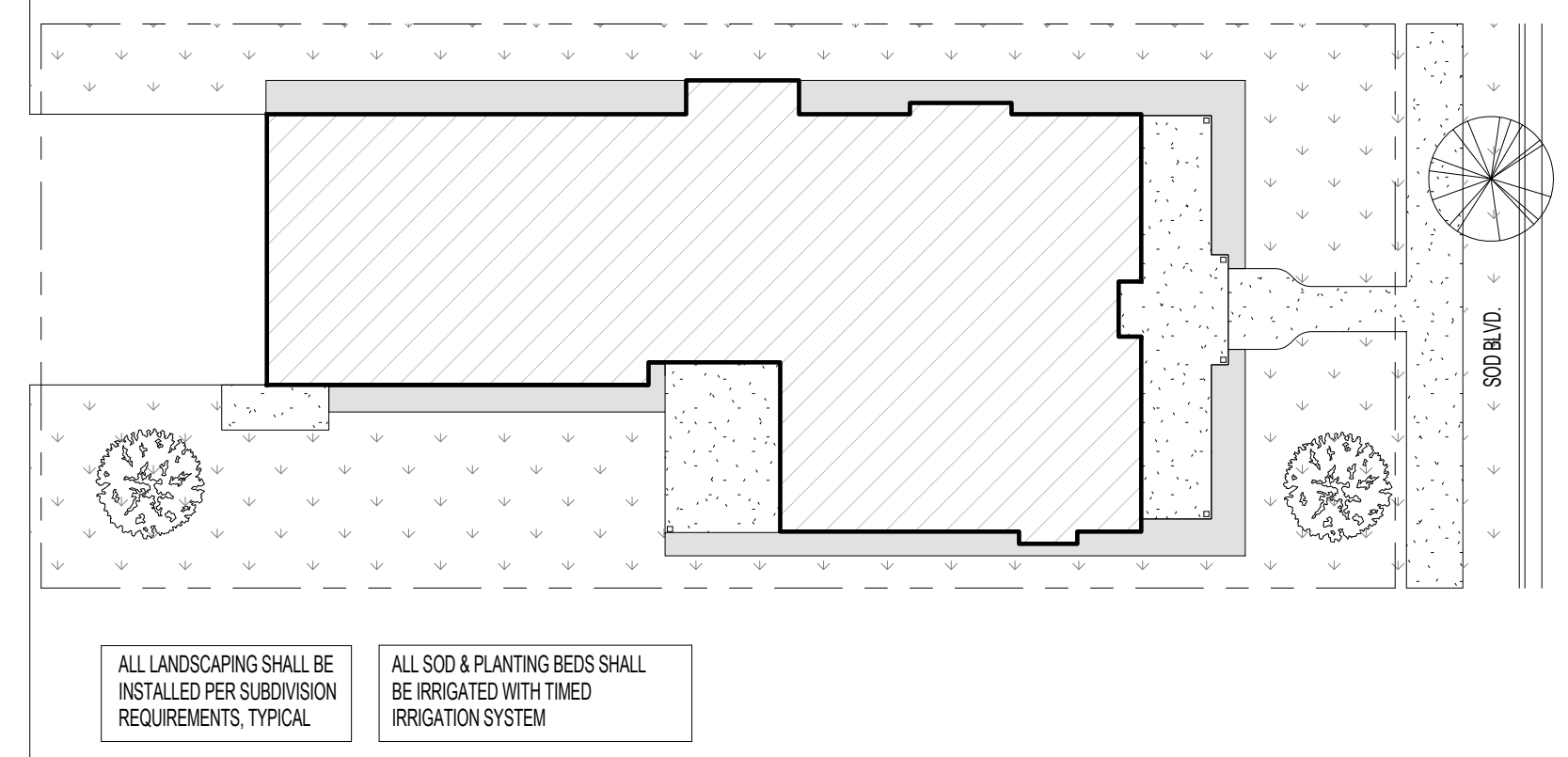
IRONWOOD DEVELOPMENT
406-581-9999

1059 N 12TH AVE.
BLOCK 1, LOT 13
OAK MEADOWS SUB.
BOZEMAN MT

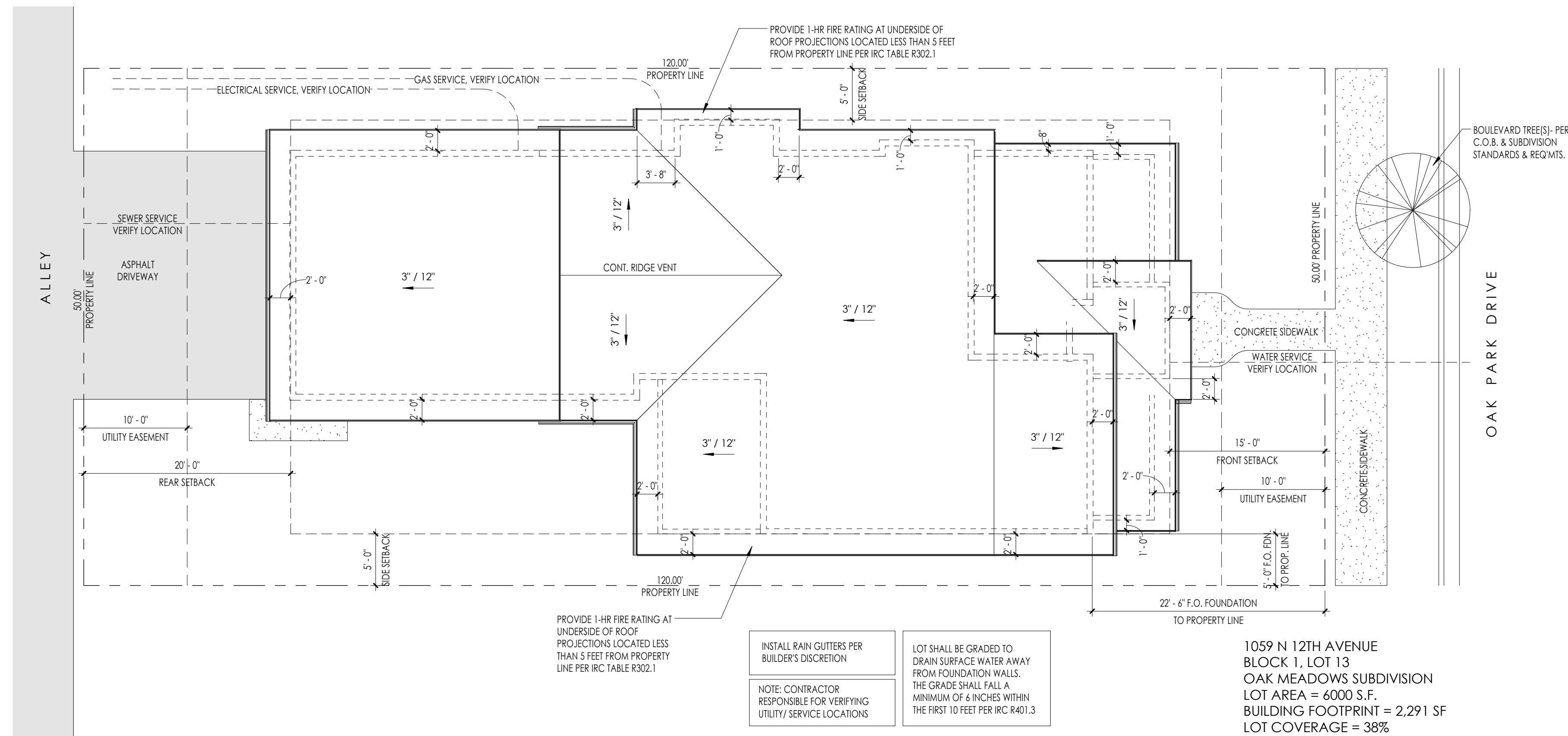
PLANT LEGEND

SPECIES

- DECIDUOUS STREET TREE
- DECIDUOUS TREE
- SMALL SHRUB
- FLOWERING SHRUB
- ORNAMENTAL GRASSES
- PERENNIAL FLOWERS
- SOD
- PLANTING BED (WASHED ROCK) W/ PLASTIC OR METAL EDGING



3 LANDSCAPE PLAN
1/16" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"

REVISIONS:

NO.	DESCRIPTION	DATE

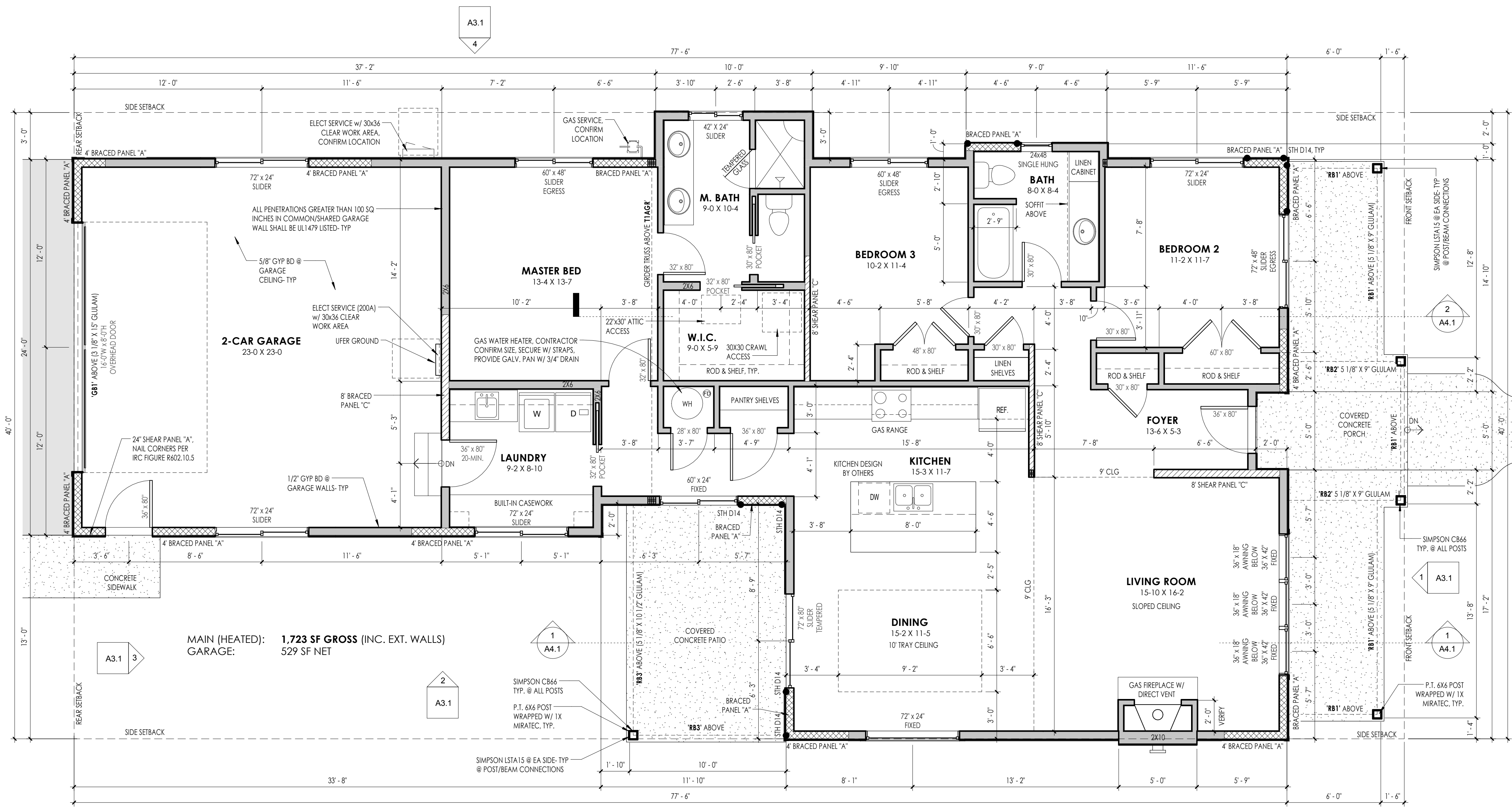
PROJECT NUMBER:	1431
DRAWN BY / CHECKED BY:	TPMP
DATE:	APRIL 7, 2015
PHASE:	REVIEW SET

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:

A1.1

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1 MAIN LEVEL
1/4" = 1'-0"

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CONSTRUCTION NOTES

- EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2x6 STUDS @ 16" o.c. WITH R-21 INSULATION, UNLESS NOTED OTHERWISE. ALL EXTERIOR SHEATHING TO BE 1/2" NOMINAL CONTINUOUS STRUCTURAL RATED PANEL.
- INTERIOR WALLS SHALL BE CONSTRUCTED OF 2x4 STUDS @ 16" o.c. UNLESS NOTED OTHERWISE. PROVIDE 2x6 WALLS AT ALL POCKET DOORS. INTERIOR WALLS TO RECEIVE 1/2" GYP BD, UNLESS NOTED OTHERWISE.
- FLOOR JOISTS TO BE 11-7/8" TJI 210 @ 16" o.c. WITH 1-3/4" MIN BEARING, UNLESS NOTED OTHERWISE.
- FLOOR DECK TO BE 3/4" TONGUE-AND-GROOVE, STRUCTURAL RATED PANEL (4824 CDX) UNLESS NOTED OTHERWISE.
- ALL LUMBER SHALL BE NO. 2 GRADE OR BETTER.
- ALL HEADERS AT EXTERIOR WALLS SHALL BE (2) 2x10 HF#2 OR BETTER w/ (2) JACK STUDS AT EACH END, UNLESS NOTED OTHERWISE.
- ALL LUMBER IN CONTACT w/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- FIREBLOCKING TO BE INSTALLED IN ALL WALL CAVITIES GREATER THAN 10 FEET TALL AND AS APPLICABLE PER CODE REQUIREMENTS (R302.8).
- PROVIDE BLOCKING AS NEEDED FOR ALL WALL MOUNTED EQUIPMENT, FURNISHINGS, ETC.
- CONFIRM STARTING POINT OF FLOOR FRAMING TO REDUCE CONFLICTS WITH PLUMBING-FRAMING CONTRACTOR TO VERIFY.
- PROVIDE GARAGE SHALL HAVE 5/8" TYPE 'X' GYP BD AT CEILING AND 1/2" GYP BD AT WALLS, UNLESS NOTED OTHERWISE.
- INTERIOR CEILING TO RECEIVE 5/8" GYP BD, UNLESS NOTED OTHERWISE.
- PROVIDE SELF-ADHERING ICE AND WATER PROTECTION MEMBRANE AT ALL EAVES TO A POINT 24" INSIDE THE EXTERIOR WALL FACE.
- WINDOWS IDENTIFIED AS 'EGRESS' SHALL HAVE MINIMUM CLEAR WIDTH OF 20", MINIMUM CLEAR HEIGHT OF 22", AND MINIMUM CLEAR AREA OF 5.7 SQ. FT. SILL HEIGHT TO BE 4" MAXIMUM ABOVE FLOOR.
- ALL PENETRATIONS GREATER THAN 100 SQ. INCHES IN COMMON/SHARED GARAGE WALL SHALL BE UL-1479 LISTED, UNLESS NOTED OTHERWISE.

INSULATION REQUIREMENTS

CONTRACTOR SHALL BE RESPONSIBLE FOR INSULATING THE RESIDENCE IN ACCORDANCE WITH THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) INCLUDING MONTANA AMENDMENTS.

APPLICABLE PRESCRIPTIVE PATH REQUIREMENTS:
 CEILING: R-49 (UNCOMPRESSED R-38 ALLOWED AT EAVES)
 EXTERIOR WALL: R-21 (OR R-13 + R-5 CONTINUOUS INSULATION)
 BASEMENT WALL: R-19 (OR R-15 CONTINUOUS INSULATION) - SEE NOTE A
 SLAB PERIMETER: R-10 (OR R-15 IF HEATED SLAB)
 CRAWLSPACE WALL: R-15 (OR R-10 IF RIGID INSULATION)
 WINDOW / DOOR: U-0.33 (R-3)

NOTE A: RES-CHECK ANALYSIS MAY ALLOW LOWER R-VALUE (R-10 MINIMUM)

BRACED PANEL SCHEDULE

TYPE PANEL	SUPPORTS	FASTENERS	SPACING
A. 1/2" NOMINAL OSB	STUDS @ 16" o.c.	8d NAILS	6" o.c. (EDGE) & 12" o.c. (FIELD)
B. 1/2" GWB BOTH SIDES	STUDS @ 16" o.c. MAX	1-1/4" SCREWS	4" o.c. (EDGE) & 8" o.c. (FIELD)
C. 1/2" GWB ONE SIDE	STUDS @ 16" o.c. MAX	1-1/4" SCREWS	4" o.c. (EDGE) & 8" o.c. (FIELD)

NOTE: CONNECT ALL INTERIOR BRACED WALL PANELS TO FLOOR ROOF TRUSSES WITH 2-16d NAILS @ 16" O.C. PER IRC TABLE 602.3(2)

BEAM SCHEDULE

- RB1 1 PIECE(S) 5 1/8" X 9' 24"-V4 DF GLULAM
- RB3 1 PIECE(S) 5 1/8" X 10' 12" 24"-V4 DF GLULAM
- RB2 1 PIECE(S) 5 1/8" X 9' 24"-V4 DF GLULAM
- GB1 1 PIECE(S) 3 1/8" X 15' 24"-V4 DF GLULAM

IRONWOOD DEVELOPMENT
406-581-9999

1059 N 12TH AVE.
BLOCK 1, LOT 13
OAK MEADOWS SUB.
BOZEMAN MT

REVISIONS:

NO.	DESCRIPTION	DATE
1		

PROJECT NUMBER: 1431

DRAWN BY / CHECKED BY: TPMP

DATE: MAY 6, 2015

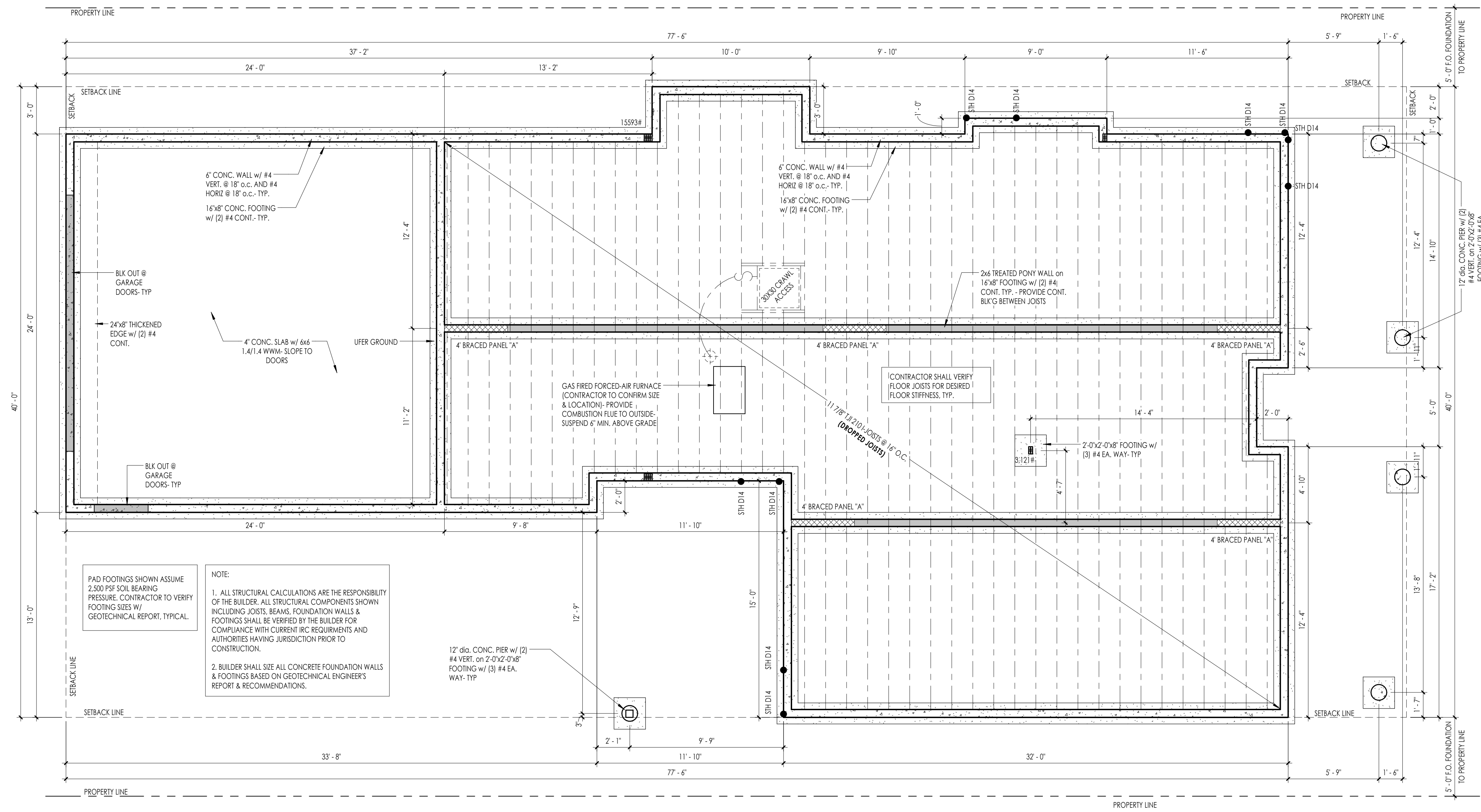
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MAIN FLOOR

DRAWING NUMBER:

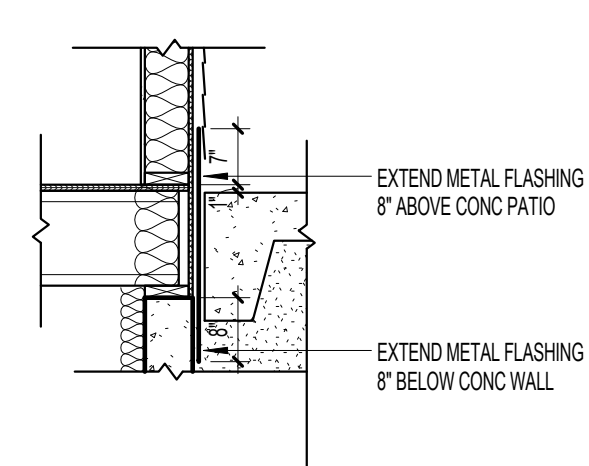
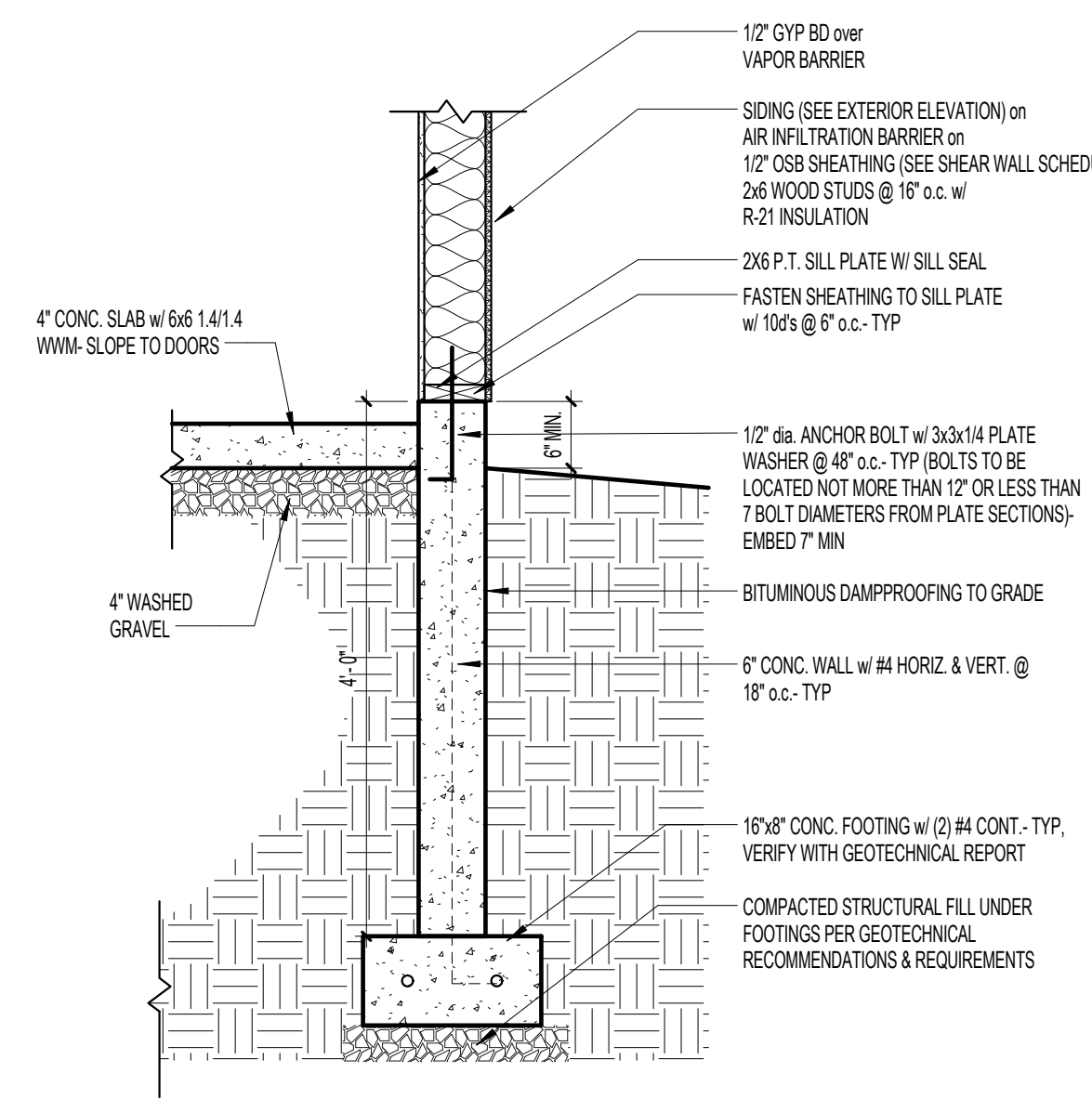
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③ FLASHING @ CONC PORCH
1/2" = 1'-0"

② FOUNDATION @ GARAGE
3/4" = 1'-0"



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CONSTRUCTION NOTES

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- PROVIDE BLOCKING AS NEEDED FOR ALL WALL MOUNTED EQUIPMENT, FURNISHINGS, ETC.
- CONFIRM STARTING POINT OF FLOOR FRAMING TO REDUCE CONFLICTS WITH PLUMBING-FRAMING CONTRACTOR TO VERIFY.
- PROVIDE GARAGE SHALL HAVE 5/8" TYPE 'X' GYP BD AT CEILING AND 1/2" GYP BD AT WALLS UNLESS NOTED OTHERWISE.
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INSULATION REQUIREMENTS

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APPLICABLE PRESCRIPTIVE PATH REQUIREMENTS:
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 BASEMENT WALL: R-19 (or R-15 CONTINUOUS INSULATION) - SEE NOTE A
 SLAB PERIMETER: R-10 (or R-15 IF HEATED SLAB)
 CRAWLSPACE WALL: R-15 (or R-10 IF FRIGID INSULATION)
 WINDOW / DOOR: U<0.33 (R-3)

NOTE A: RES-CHECK ANALYSIS MAY ALLOW LOWER R-VALUE (R-10 MINIMUM)

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED, LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL.
- STEP FOOTINGS AS NEEDED TO MAINTAIN REQUIRED DEPTH BELOW FINAL GRADE.
- ALL GRANULAR FILL SHALL BE COMPACTED TO 95% DENSITY, UNLESS NOTED OTHERWISE.
- SLOPE FLOOR OF GARAGE TO OPENING(S) AT 1/8" PER FOOT MINIMUM.
- CONCRETE SLABS ON GRADE SHALL HAVE CONTROL JOINTS AT MINIMUM 12' INTERVALS EACH WAY, UNLESS NOTED OTHERWISE.
- CONCRETE SIDEWALKS TO HAVE TOOLED 3/4" JOINT AT 5' INTERVALS, UNLESS NOTED OTHERWISE.
- REINFORCING STEEL SHALL BE A-615 GRADE 60. PROVIDE MINIMUM 40 BAR DIAMETER LAP AT SPLICES, CORNERS, AND INTERSECTIONS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- DAMP-PROOF FOUNDATION BEFORE BACKFILLING.

BRACED PANEL SCHEDULE

TYPE PANEL	SUPPORTS	FASTENERS	SPACING
A. 1/2" NOMINAL OSB	STUDS @ 16" o.c.	8d NAILS	6" o.c. (EDGE) & 12" o.c. (FIELD)
B. 1/2" GWB-BOTH SIDES	STUDS @ 16" o.c. MAX	1-1/4" SCREWS	4" o.c. (EDGE) & 8" o.c. (FIELD)
C. 1/2" GWB-ONE SIDE	STUDS @ 16" o.c. MAX	1-1/4" SCREWS	4" o.c. (EDGE) & 8" o.c. (FIELD)

NOTE: CONNECT ALL INTERIOR BRACED WALL PANELS TO FLOOR/ ROOF TRUSSES WITH 2-16d NAILS @ 16" O.C. PER IRC TABLE 602.3(2)

IRONWOOD DEVELOPMENT
406-581-9999

1059 N 12TH AVE.
BLOCK 1, LOT 13
OAK MEADOWS SUB.
BOZEMAN MT

REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 1431

DRAWN BY / CHECKED BY: TPMP

DATE: APRIL 7, 2015

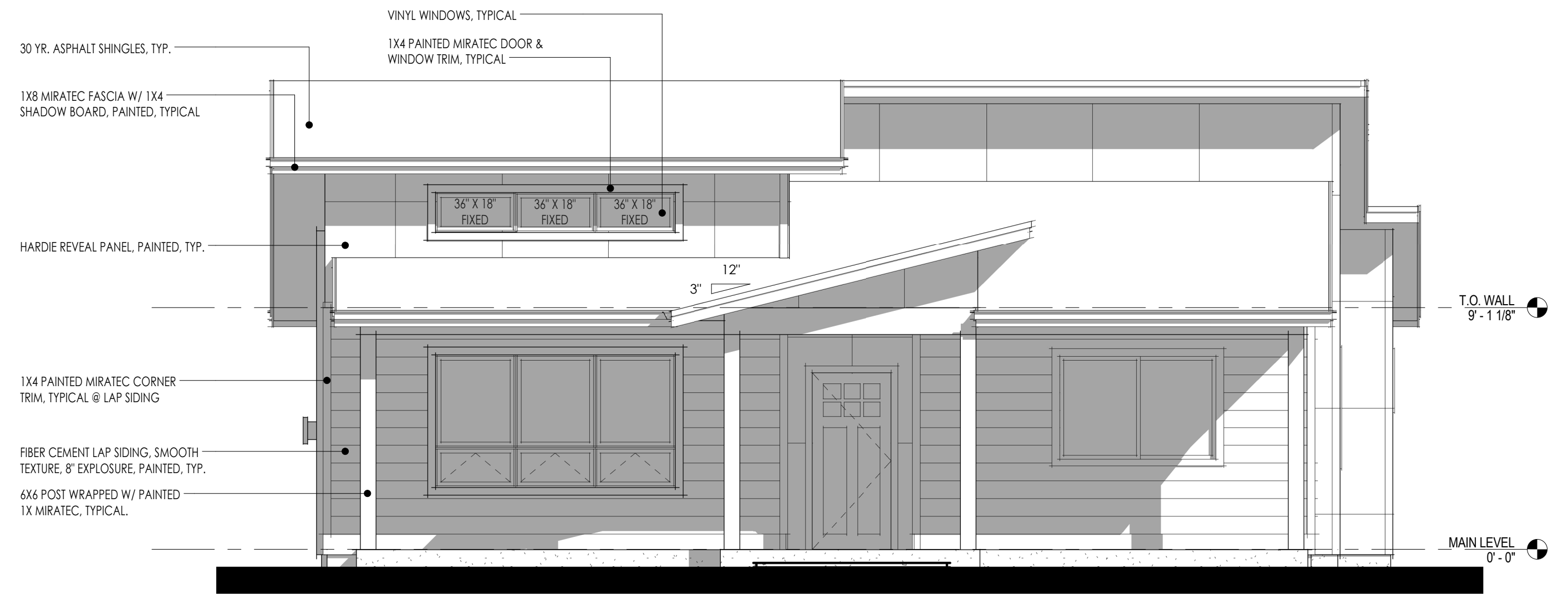
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DRAWING TITLE:
FOUNDATION

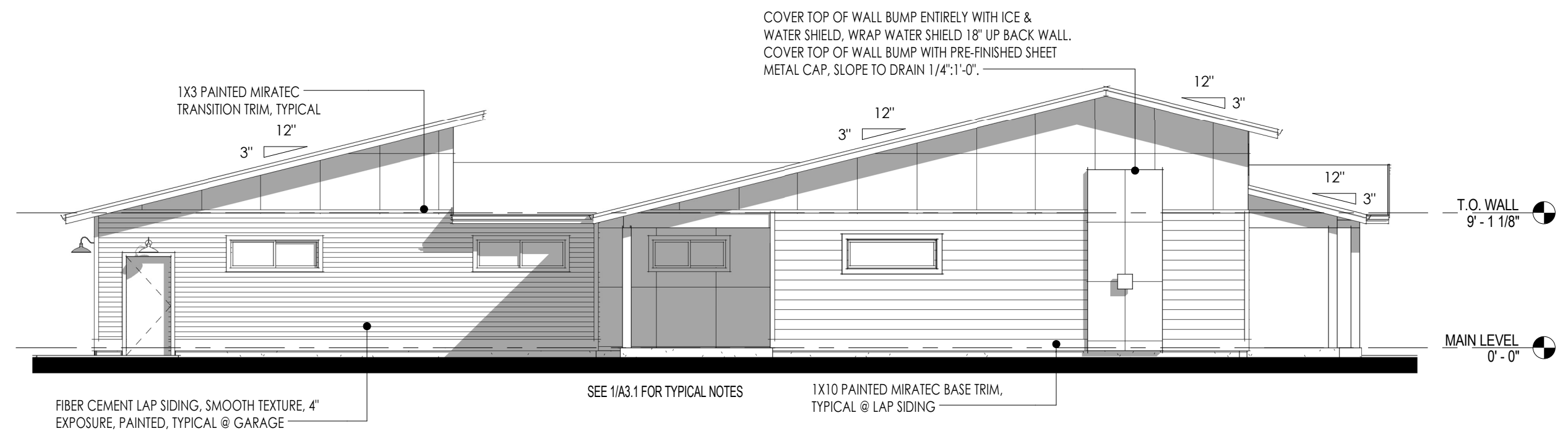
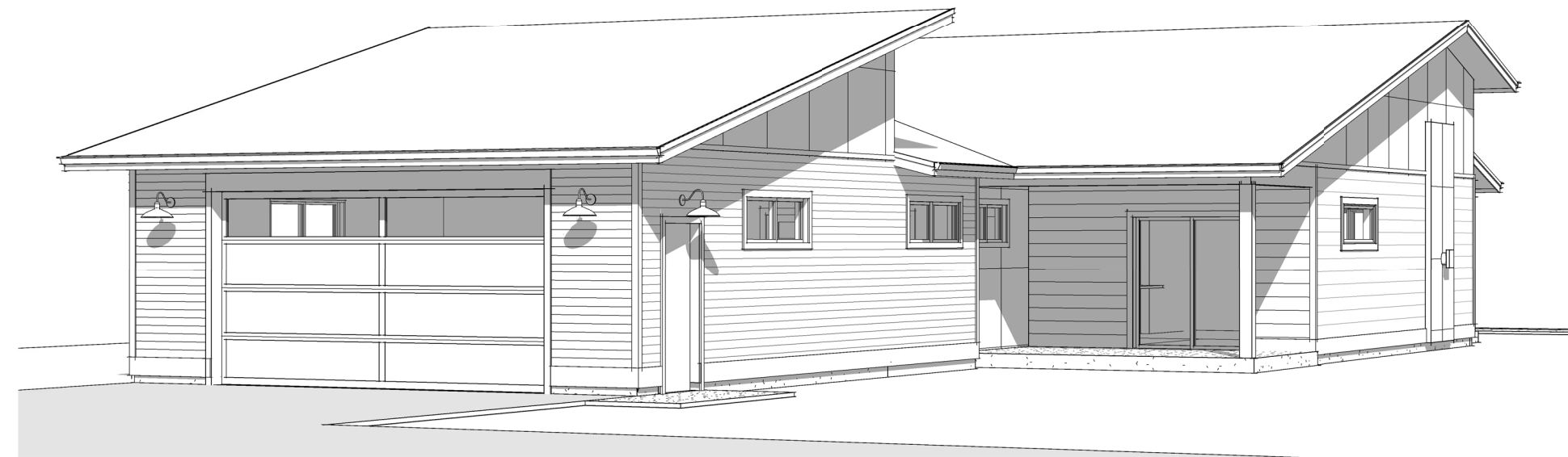
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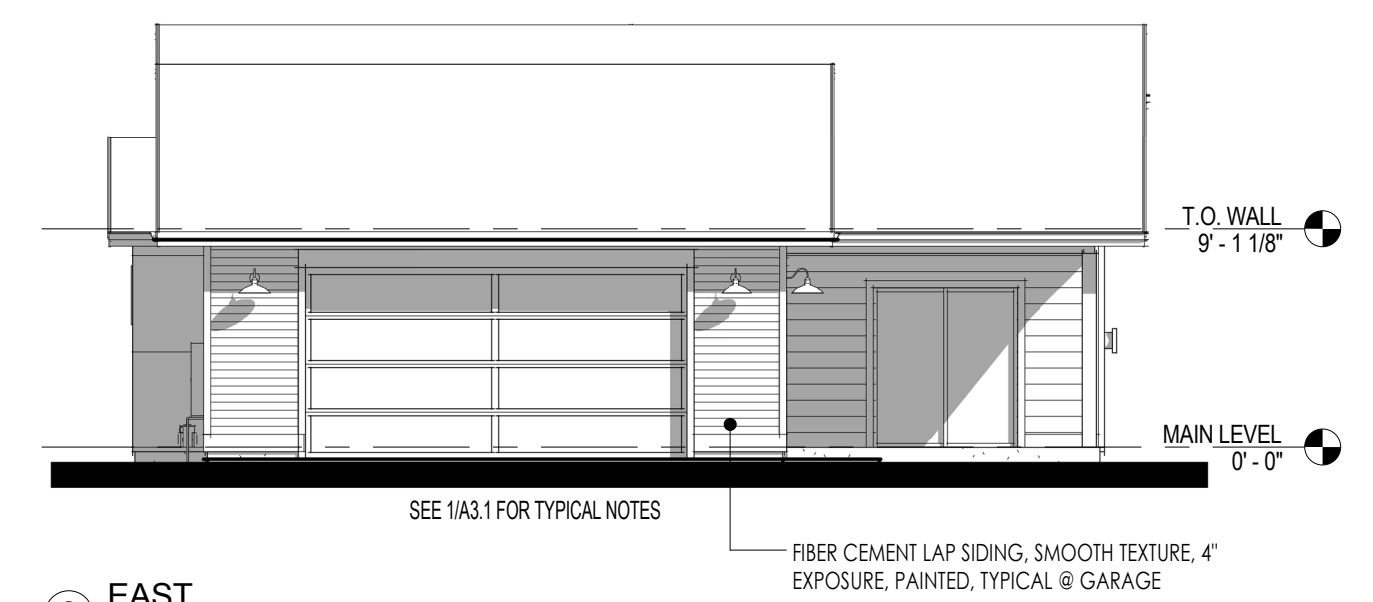
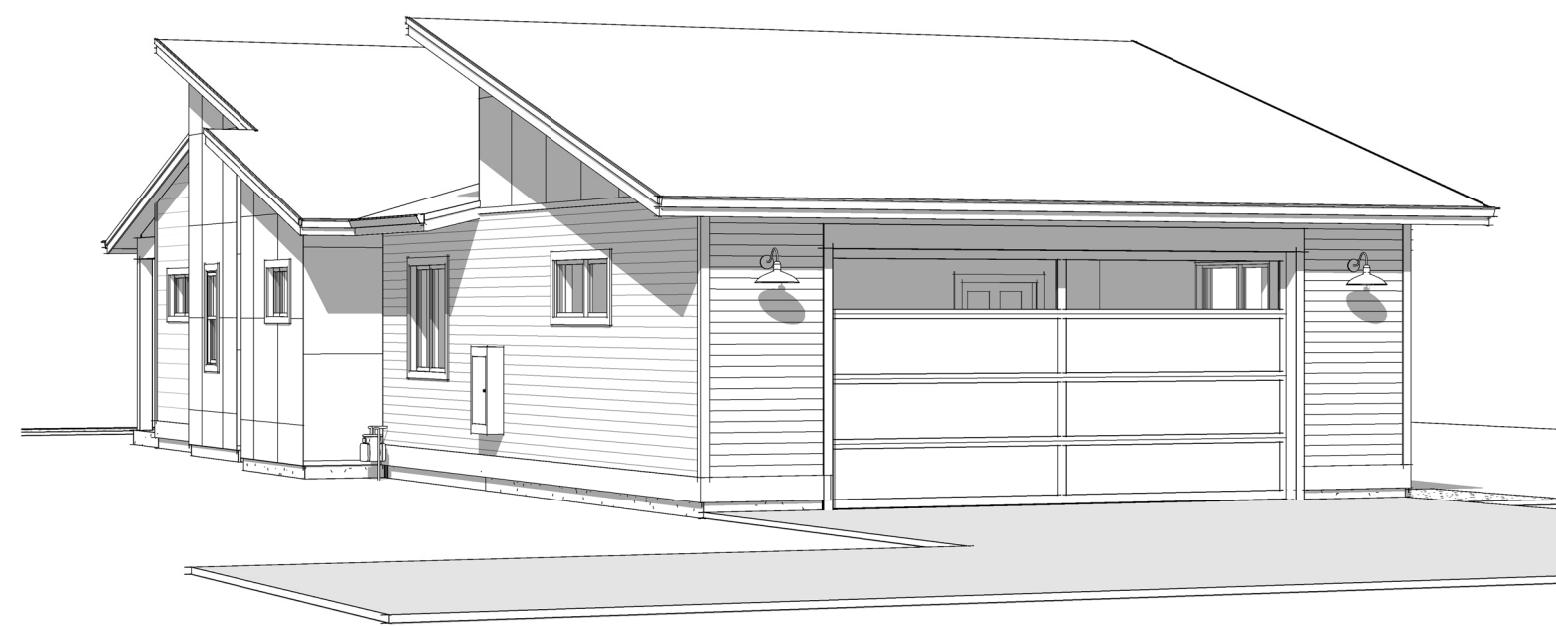
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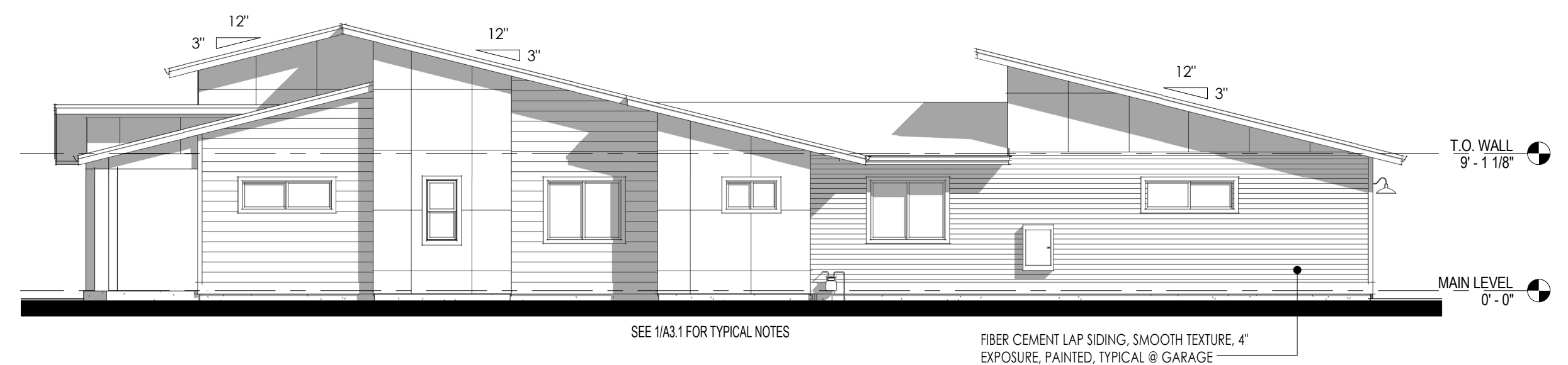
① WEST
1/4" = 1'-0"



② SOUTH
1/8" = 1'-0"



③ EAST
1/8" = 1'-0"



④ NORTH
1/8" = 1'-0"

**IRONWOOD
DEVELOPMENT**
406-581-9999

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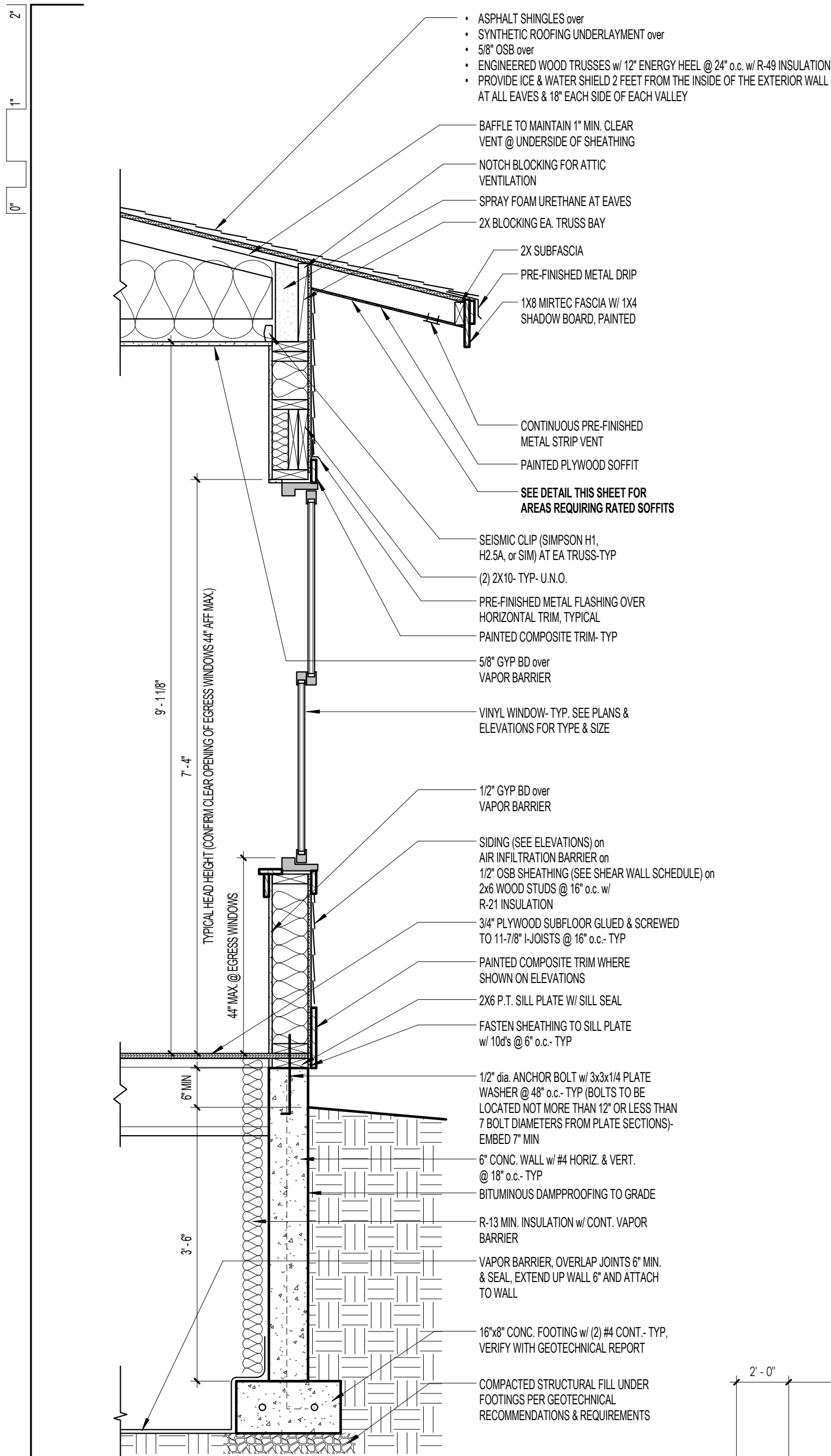
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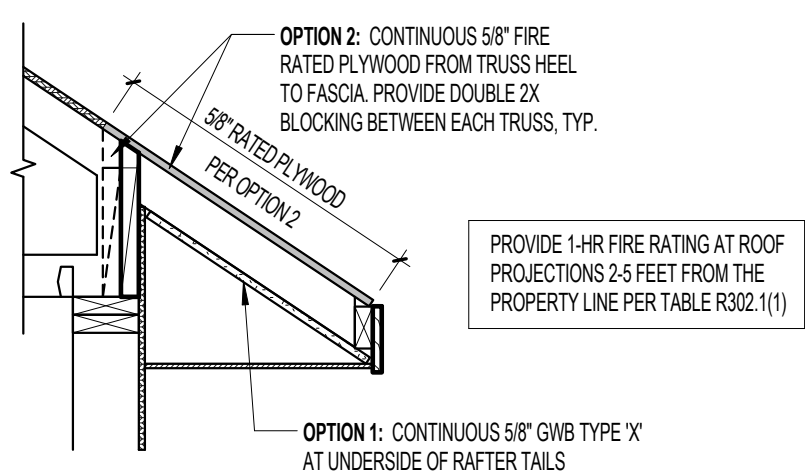
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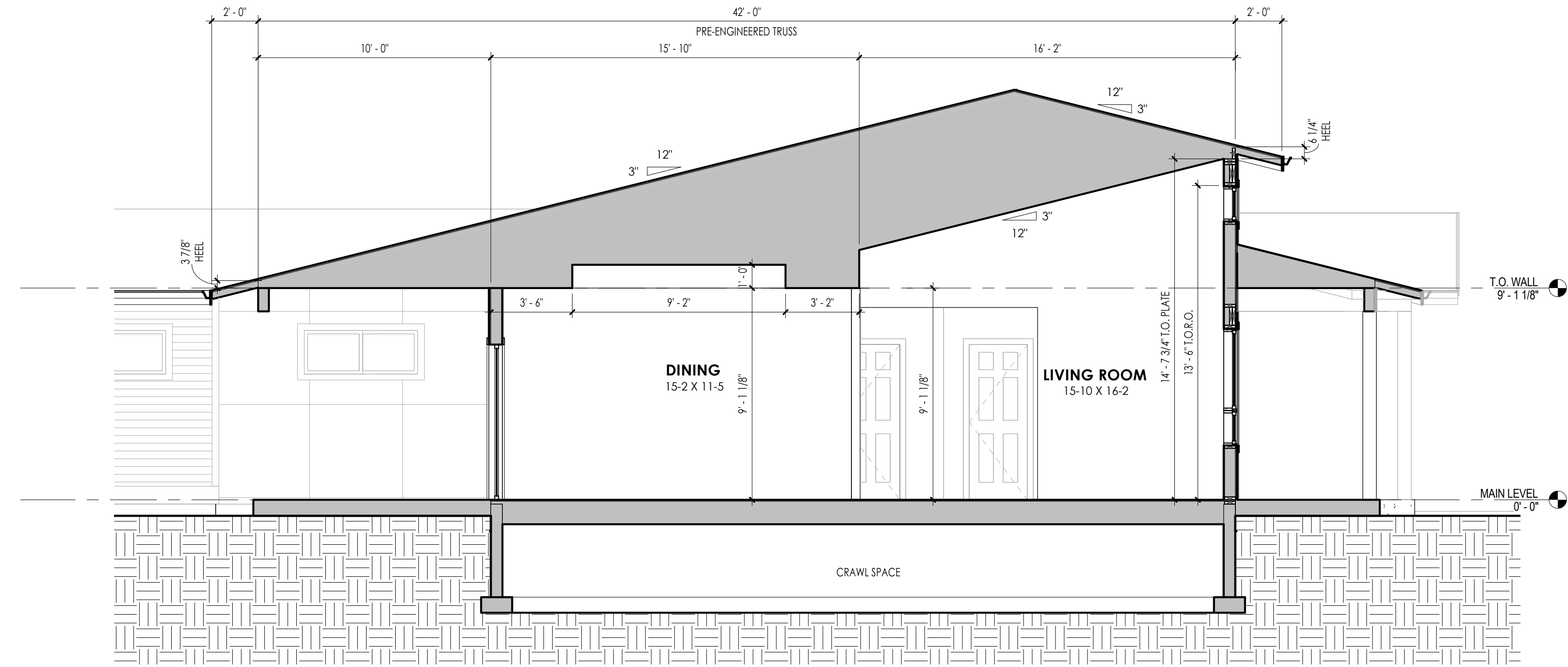
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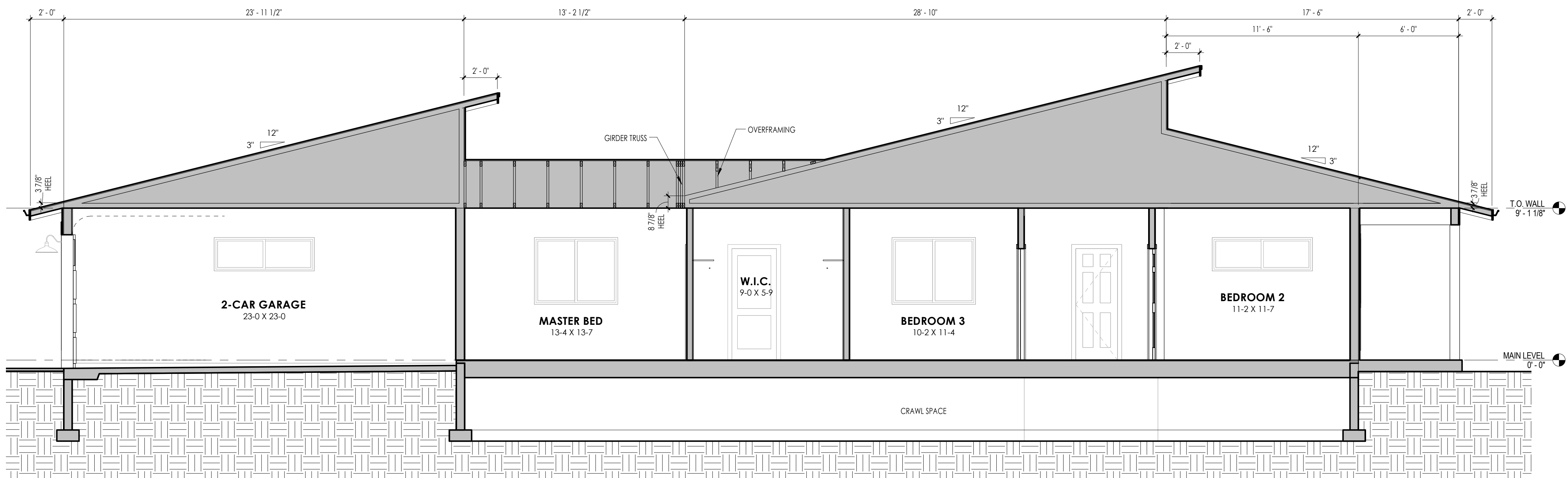
3 TYPICAL WALL SECTION
3/4" = 1'-0"



4 RATED SOFFIT DETAIL
3/4" = 1'-0"



1 BUILDING SECTION 1
1/4" = 1'-0"



2 BUILDING SECTION 2
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- ALL LUMBER SHALL BE NO. 2 GRADE OR BETTER.
- ALL HEADERS AT EXTERIOR WALLS SHALL BE (2) 2x10 HF#2 OR BETTER w/ (2) JACK STUDS AT EACH END, UNLESS NOTED OTHERWISE.
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- ALL PENETRATIONS GREATER THAN 100 SQ INCHES IN COMMONSHARED GARAGE WALL SHALL BE UL1479 LISTED, UNLESS NOTED OTHERWISE.

INSULATION REQUIREMENTS

CONTRACTOR SHALL BE RESPONSIBLE FOR INSULATING THE RESIDENCE IN ACCORDANCE WITH THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) INCLUDING MONTANA AMENDMENTS.

APPLICABLE PRESCRIPTIVE PATH REQUIREMENTS:

CEILING:	R-40 (UNCOMPRESSED R-38 ALLOWED AT EAVES)
EXTERIOR WALL:	R-21 (or R-13 + R-5 CONTINUOUS INSULATION)
BASEMENT WALL:	R-19 (or R-15 CONTINUOUS INSULATION) - SEE NOTE A
SLAB PERIMETER:	R-10 (or R-15 IF HEATED SLAB)
CRAWLSPACE WALL:	R-15 (or R-10 IF RIGID INSULATION)
WINDOW / DOOR:	U-0.33 (R-3)

NOTE A: RES-CHECK ANALYSIS MAY ALLOW LOWER R-VALUE (R-10 MINIMUM)

IRONWOOD DEVELOPMENT
406-581-9999

1059 N 12TH AVE.
BLOCK 1, LOT 13
OAK MEADOWS SUB.
BOZEMAN MT

REVISIONS:

NO.	DESCRIPTION	DATE










PROJECT NUMBER: 1431
 DRAWN BY / CHECKED BY: TPMP
 DATE: APRIL 7, 2015
 PHASE: REVIEW SET

DRAWING TITLE:
SECTIONS & DETAILS

DRAWING NUMBER:

A4.1

LEGEND - ELECTRICAL SYMBOLS

-  LIGHT FIXTURE - RECESSED
-  LIGHT FIXTURE - SURFACE MOUNTED
-  LIGHT FIXTURE - WALL MOUNTED
-  LIGHT FIXTURE - PENDANT
-  EXHAUST FAN or FANLIGHT COMBINATION
-  CEILING FAN or FANLIGHT COMBINATION
-  SMOKE DETECTOR
-  DUPLEX OUTLET - "G", "GFI", "WP", WEATHERPROOF
ALL OUTLETS TO BE "AFCI" PROTECTED and TAMPERPROOF UNLESS NOTED OTHERWISE
-  WALL SWITCH

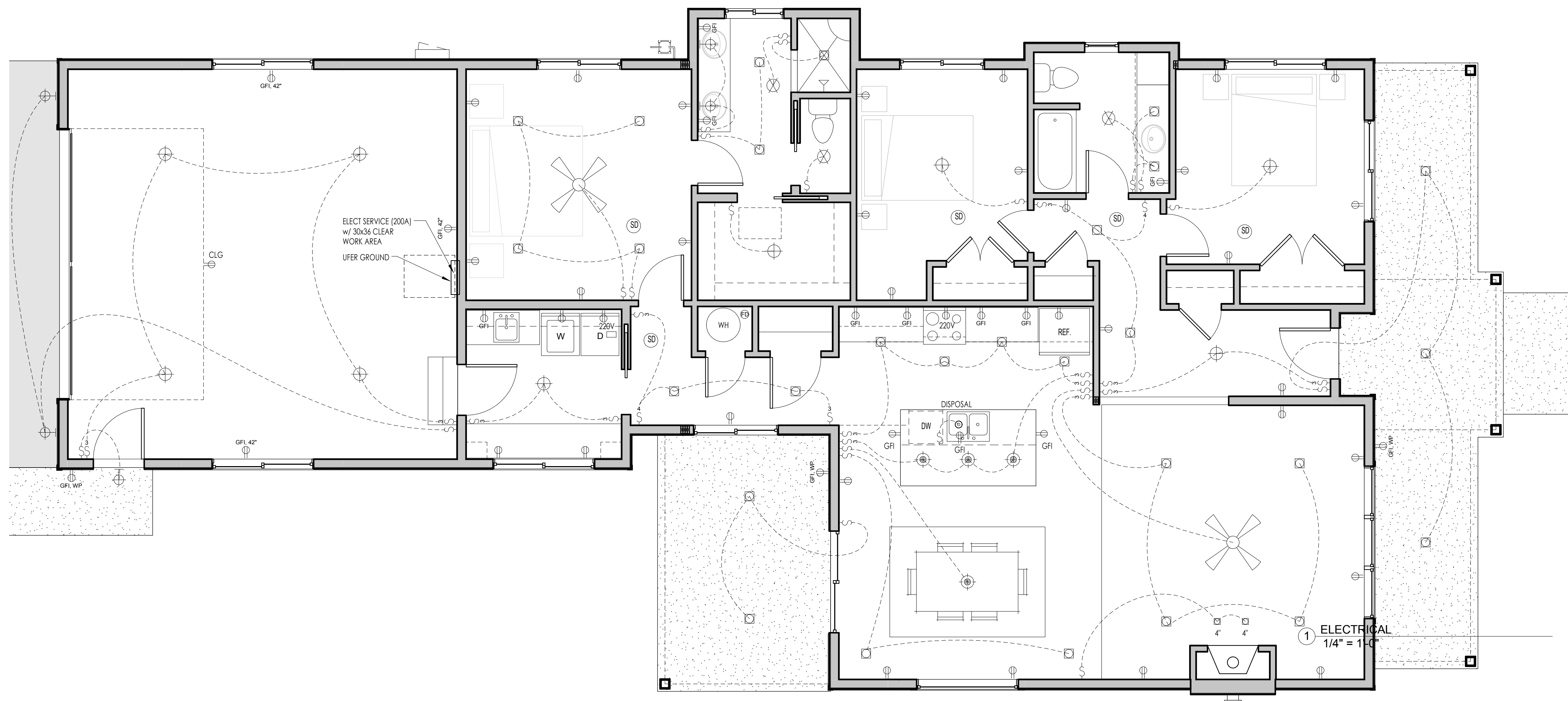
1. ALL ELECTRICAL WORK SHALL BE INSTALLED BY A LICENSED ELECTRICIAN AND SHALL CONFORM WITH CURRENT CODES.
2. VERIFY ALL FIXTURE TYPES AND LOCATIONS WITH OWNER AND/OR CONTRACTOR.
3. VERIFY ALL SWITCH TYPES AND LOCATIONS WITH OWNER AND/OR CONTRACTOR.
4. COORDINATE AND PROVIDE RECEPTACLES FOR ALL MAJOR APPLIANCES.
5. PROVIDE TELEPHONE AND TELEVISION CABLE JACKS AS DIRECTED BY OWNER AND/OR CONTRACTOR.
6. RECEPTACLES SHALL BE PLACED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET.
7. LIGHT FIXTURES SHALL BE MOUNTED 12" MINIMUM FROM NEAREST POINT OF STORAGE SPACE.
8. PROVIDE 30" x 36" CLEAR WORK AREA CENTERED IN FRONT OF ELECTRICAL PANEL(S) AND ELECTRICAL SERVICE ENTRY POINT (METER LOCATION).

GENERAL NOTES

1. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
2. ALL WORK SHALL COMPLY WITH APPLICABLE CODES LISTED.
3. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OTHERWISE.
4. ALL ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED BY LICENSED PROFESSIONAL(S) AND SHALL CONFORM WITH CURRENT CODES.
5. CONFIRM AND COORDINATE LOCATIONS OF ALL UTILITIES WITH CONTRACTOR.
6. CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS.

INFORMATION CONTAINED IN THIS DRAWING SET HAS BEEN PREPARED FOR THE USE OF A PROFESSIONAL LICENSED CONTRACTOR WHO IS FAMILIAR WITH BUILDING CODE AND OTHER LEGAL REQUIREMENTS WITHIN THE PROJECT'S JURISDICTION. NO WARRANTIES, EXPRESSED OR IMPLIED, ARE GIVEN OR INTENDED BY THE PREPARATION OF THESE DRAWINGS.

ADOPTED CODES:
 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) 2012 UNIFORM PLUMBING CODE (UPC)
 2012 INTERNATIONAL MECHANICAL CODE (IMC) 2014 NATIONAL ELECTRIC CODE (NEC)
 2012 INTERNATIONAL FUEL GAS CODE (IFGC) 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)



**IRONWOOD
DEVELOPMENT
406-581-9999**

1059 N 12TH AVE.
BLOCK 1, LOT 13
OAK MEADOWS SUB.
BOZEMAN MT

REVISIONS:
NO. DESCRIPTION DATE

PROJECT NUMBER: 1431

DRAWN BY / CHECKED BY: TPMP

DATE: MAY 6, 2015

PHASE: REVIEW SET

DRAWING TITLE:
ELECTRICAL

DRAWING NUMBER:

E1.1